

**CONDITION REPORT
AND
CAPITAL EXPENDITURE MAINTENANCE PLAN**

of the property known as

**HUGHENDEN COURT
MOUNT PLEASANT ROAD
HASTINGS
TN34 3ST**



**Prepared for
Hughenden Court (Hastings) RTM Company Ltd**

JANUARY 2024

Our Ref: AD/116376



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APPENDIX A – Capital Expenditure Maintenance Plan



1.0 INTRODUCTION

We are instructed to carry out an inspection and to prepare a summary 10-year maintenance plan with budget costs for works identified to the external and internal communal parts of the property.

1.1 Generally

The purpose of this report is to advise you on the works of “major works” maintenance falling due on the property within the next 10 years, together with those related matters specifically referred to therein and is not intended to be used for any other purpose.

The report is to be regarded as confidential to the party to whom it is addressed and is intended for the use of that party only. In accordance with current practice, we can accept no responsibility or liability to any third party in respect of the whole or part of its contents. Before the report or any part of it is reproduced or referred to in any documents, circular or statement and before its contents or the contents of any part of it are disclosed orally to a third party, a written approval as to the form and context of such publication or disclosure must be obtained.

The inspection was carried out on 6th December 2023, when the weather was generally bright and sunny, following a period of unsettled weather.

1.2 Limitations

The inspection is limited to the accessible communal parts of the building and a number of private flats. We cannot therefore confirm that the remainder of the block is free of defects.

We have not inspected those parts of the building which are covered, unexposed or inaccessible and are therefore unable to report that any such parts of the property are free from defect.

Similarly, with timbers generally, there can be no apparent signs of wood-boring insect infestation or fungal decay during the early stages of an attack and with items of joinery, the presence of decay or infestation can be concealed by paintwork or other finishes. Such hidden defects can only be identified by opening up to expose the timber concerned or possibly by probing, which in items of joinery could cause unacceptable damage or disfigurement.

The flats inspected were occupied and fully furnished at the time of inspection. All floors were covered with carpets or other fixed coverings.

No specialist tests were commissioned for the services installations and the comments on this report are based on our visual examination of the accessible and visible parts of the systems, and reports received from specialist maintenance services engineers.



1.3 Documents Reviewed

We have been provided with access to the Hughenden Court Hasting RTM Co Ltd website, which has various documents available for viewing, including the following:-

1. Fire Risk Assessment dated September 2023.
2. Asbestos Survey by Hasting Evironmental Ltd dated October 2013.
3. Asbestos reinspection Survey by Hasting Evironmental Ltd dated November 2023.
4. ETS H&S Fire Door Inspection survey dated September 2023.
5. Electrical Installation Condition Report dated October 2023
6. Various rope access surveys carried out between June 2020 and September 2022
7. Danosa Survey Report of the roof dated January 2023.
8. Adams Design Associates report dated January 2023
9. Leak Detection Specialists Ltd survey report dated November 2023.



2.0 PROPERTY DESCRIPTION

2.1 Property Particulars

Date of Construction	Built mid-1970s.
Number of storeys	Six storeys. (Seven storeys with under-croft parking on Lower Ground Levels)
Number of flats	47
Flat arrangement	7 flats on ground floor. 9 flats on 1 st / 2 nd / 3 rd floor. 8 flats on 4 th floor. 5 flats on 4 th floor.
Undercroft Parking Area	Single storey undercroft parking area at Lower Ground Levels.
Other uses	A section of the building at the rear ground floor level is used as a church but this was not inspected as part of this survey.
Purpose built block	Yes
Conversion date	Not applicable
Orientation of front elevation (approximate)	South facing.
Vehicular access and parking	Separate vehicular entrance/exit from Hughenden Place to the Lower Ground Floor undercroft parking area.
Pedestrian access	Communal entrance on front elevation.
Maintenance access	Roof access via doors that lead out onto the communal roof terrace area, with fixed ladder access to the main roof.
Staircases	3no.
Lifts	1 no. lift to all floors.
External areas	Hard landscaping to front and rear, with paved areas and footpaths and steps.
Refuse	Refuse chutes located on each floor which are connected to bin store area
Listed Building	No.
Conservation Area	No.
Local Authority	Hastings Borough Council.



2.2 Property Construction

External Walls	Cavity masonry with brick facing elevations.
Balconies and Terraces	<p>All flats between ground and fourth floor incorporate enclosed balconies to the front and rear which are formed enclosed with brick parapet wall with brick soldier coping detail.</p> <p>The penthouse flats have large open terrace balcony areas which extend around the perimeter of the 5th floor and are enclosed with brick walls with brick soldier coping detail.</p>
Roofs	<p>The central section of flat roof is formed of what is presumed to be a timber deck covered with bitumen felt roofing with a metal clad parapet at the perimeter. The roof is laid to falls with a central valley with internal rainwater downpipes.</p> <p>The lower section of flat roof which forms the open terrace areas to the penthouse flats on the west- and south-facing elevations. This roof is formed of what is assumed to be a concrete deck with an asphalt covering, with a brick parapet at the perimeter.</p>
Windows	The majority of windows to flats and communal stairwells are double glazed and PVCu framed replacements. There are some original timber framed windows still in existence, although these are in the minority.
External Doors	<p>The block has a communal entrance with two sets of communal doors which are aluminium framed with double glazed panels. Only one pair of communal doors was in operation at the time of inspection.</p> <p>On the west-facing elevation is a single, timber-framed fire escape door with Georgian-wired glazed panels and security bars.</p> <p>On the east-facing elevation is a single, PVCu framed double-glazed fire escape door.</p>
Roof Access	Roof access via several PVCu framed double-glazed doors that lead out onto the communal roof terrace area at fifth floor level. There is a fixed ladder access up to the main roof.
Internal Floors	The internal floors are of hollow clay pot and concrete construction. Communal areas have a combination of finishes including floor tiles and carpets.
Internal Walls	Masonry partitions.



Communal / Meter Cupboards	There are separate cupboards serving each wing on every floor that are presumed to house electric meters and other services. All doors were locked at the time of inspection.
Boundaries	Boundaries are predominantly formed of brick built walls at the perimeter of the plot.
External Areas	To the front and rear of the block is are areas with asphalt surfacing which also include several brick-built ventilation structures, which serve the undercroft parking area below. There is a stepped area formed of pre-cast concrete paving slabs to the front entrance, and a tarmacadam drive that leads to the undercroft parking.
Undercroft parking areas	The whole block is served by undercroft parking area which are located on the lower ground floors. Ground floor parking area has macadam surfacing with a single gated entrance which is accessed from Hughenden Place.



2.3 Services and Service Installations

Mains Services	Electricity, water and drainage.
Main Electricity Intake	Individual electric meters for flats are located in locked cupboards within the communal landings.
Gas	The block is not known to have any gas supply.
Foul Water Drainage	Concealed soil and vent pipes rise internally throughout the building and are connected to the underground drainage pipework below the concrete slab.
Rainwater Disposal	Rainwater outlets are formed in central valleys within the flat roof structure and discharge through concealed downpipes. Additional downpipes serve balconies to the front and rear of the block.
Electrics	Small power and lighting installations to the communal areas are run at high level within the suspended ceiling, or via original cable runs within the walls.
Heating	There is no communal heating system.
Fire Alarm	There is no communal fire alarm system.
Emergency Lighting	Throughout internal common parts.
Entryphone System	Electronic entry-phone system for each flat.
Lightning Protection	Installed to the block, and subject to annual test.
Dry Riser	A dry riser outlet on every floor. These will be subject to annual test.



3.0 LEASE CLAUSES

(4) As often as may be necessary and also in any event not less than once in every seventh year and also in the last year of the term hereby granted (whether determined by effluxion of time or otherwise) paint over all the interior woodwork and ironwork of the demised premises in a workmanlike manner with two coats of good and suitable paint and with every inside painting (including the last) will repaper or twice distemper such parts of the inside walls and ceilings of the demised premises as are usually papered or distempered and during the last year in such colours and designs as the Lessor may reasonably require the first such treatment to be carried out in the year 1979

(5) To keep the demised premises and all parts thereof and all fixtures and fittings therein and all additions thereto (including without prejudice to the generality of the foregoing the cisterns tanks sewers drains pipes wires ducts conduits and windows forming part of the demised premises) in a good and tenable state of repair decoration and condition throughout the continuance of this demise to the satisfaction in all respects of the Lessor including the renewal and replacement of all worn or damaged parts and to maintain and uphold and whenever necessary and for whatever reason to rebuild reconstruct and to replace the same and to yield up the same together with all Landlords' fixtures at the expiration or sooner determination of the demise in such good and tenable state of repair decoration and condition in accordance in all respects with the terms of the covenants herein contained

AND IT IS HEREBY AGREED AND DECLARED that all interior walls which are common to the demised premises and any other adjoining parts of the building are party walls and the expense of maintaining them other than the expense of repairing and decorating the interior faces thereof in accordance with the Lessee's covenants herein – before contained shall be borne in equal shares by the Lessee and the owner of such adjoining parts of the building

(7) To permit the Lessor and the Superior Lessor and also their respective Mortgagees (if any) or their servants or agents at reasonable times of the day to enter upon and examine the condition and state of repair of the demised premises and to repair and make good all defects for which the Lessee is responsible hereunder and of which notice in writing shall be served by the Lessor or the Superior Lessor on the Lessee within two months after the giving of such notice AND if the Lessee shall not within such period of two months proceed diligently with the execution of such repairs or works then the Lessor or the Superior Lessor may enter upon the demised premises and execute the same and the cost thereof shall be a debt due to the Lessor and Superior Lessor from the Lessee and shall be forthwith recoverable by action

(9) That the Lessee will not at any time during the said term make any alteration in or additions whatsoever to the demised premises without general approval in writing of the Lessor and the Superior Lessor to the plans and specifications thereof PROVIDED THAT

(i) the Lessee shall carry out such works as are authorised as hereinbefore provided in a good and workmanlike manner with good and proper materials and in all respects in accordance with any such approvals so obtained and any conditions imposed and to the reasonable satisfaction of the Lessors' Surveyor and shall from time to time supply such information as the Lessor's Surveyor may reasonably require to enable him to be satisfied as to the performance by the Lessee of his obligations hereunder.



(ii) The Lessee shall pay to the Lessor all costs fees and expenses incurred by the Lessor in respect of its Solicitors' Surveyors' and Architects' fees or paid by the Lessor to the Superior Lessor or others in connection with all applications for approval of plans and specifications for any such works as aforesaid whether the same be granted or not and for the supervision of the carrying out of such works as aforesaid.

4. (i) THE Lessor HEREBY COVENANTS with the Lessee:-

(A) to maintain in good and substantial repair and condition of the main structure and the roof (hereinbefore defined) of the building and the foundations thereof

(B) to maintain the garage and the paths halls passages balconies (save where included I the demise) and gardens (if any) of the property and all sewers drains watercourses pipes wires and cables thereunder or thereon in good order and condition

(C) to keep the halls passages stairs and landings in the main building clean and properly lighted including the access road leading to the parking spaces in the garage (in so far as the same are used jointly)

(D) to clean properly prepare and then paint all wood and ironwork of the exterior of the building and all other parts thereof (including the outside faces of the doors windows and other woodwork within the demised premises) which are usually painted with two coats of good and suitable paint in every third year of the term the first such treatment to be carried out in the year 1977

(E) to pay and discharge all existing and future rates taxes assessments and outgoings whether Parliamentary parochial local or of any other description whatsoever (if any) which now are or may at any time hereafter during the said term be assessed charged or imposed upon or payable in respect of any part of the property used by the Lessee in common with the tenants of other flats in the building

(F) to maintain television aerials and the necessary cables thereto for the benefit of the demised premises

(G) as often as may be necessary and in any event not less than once in every seventh year of the term and also in the last year of the term paint over all the interior woodwork and ironwork of the common parts of the property in a workmanlike manner with two coats of good and suitable paint and with every inside painting (including the last) will repaper or twice distemper such parts of the inside walls and ceilings thereof as are usually papered or distempered all such works to be carried out with such materials and in such tints and colours as shall be selected by the Lessor

(H) to maintain cleanse repair and when necessary renew in a good and workmanlike manner the lift situate in the building PROVIDED ALWAYS that the Lessor may enter into any contract or contracts as the Lessor shall in its absolute discretion think desirable for the repair and maintenance of such lift

(J) that the Lessor will during the term hereby granted pay the insurance rent reserved in the Head Lease and will use its best endeavours to procure the performance by the Superior Lessor of their covenants and conditions set out in Clause 4 of the Head Lease.

(K) that the Lessor will if they deem necessary effect such additional insurances in respect of the property in the joint names of the Lessor and the Superior Lessor in such company or with such



Underwriters as the Superior Lessor may from time to time prescribe against such risks (which may include those risks against which the Superior Lessor has covenanted to insure the Head Lease) as the Lessor may deem to be necessary to protect the property and the lift therein

(L) that (if so required by the Lessee the Lessor will enforce the covenants similar to those contained in Clause 3 hereof entered into or to be entered into by the tenants of the other flats and parking spaces in the building the Lessee indemnifying the Lessor against all costs and expenses in respect of such enforcement by providing such security in respect of costs and expenses as the Lessor may reasonably require

(M) to do all such acts matters and things as may in the Lessor's reasonable discretion be necessary or advisable for the proper maintenance or administration of the demised premises and of the property including the employment of persons to comply with their covenants herein and in particular (but without prejudice to the generality of the foregoing) the appointment of managing or other Agents surveyors and accountants and the payment of their proper fees in connection with the supervision and performance of the Lessor's covenants contained in this Underlease



4.0 SURVEYOR'S OBSERVATIONS AND CONSIDERATIONS

4.1 Roofs

4.1.1 Flat Roof

The main flat roof covering to the building is a modified bitumen felt laid over what is assumed to be a timber roof deck, and is estimated to be well in excess of 20 years old. At the perimeter of the flat roof area is a parapet wall with metal cladding and coping detail. The felt roof covering has been dressed up and under this cladding.

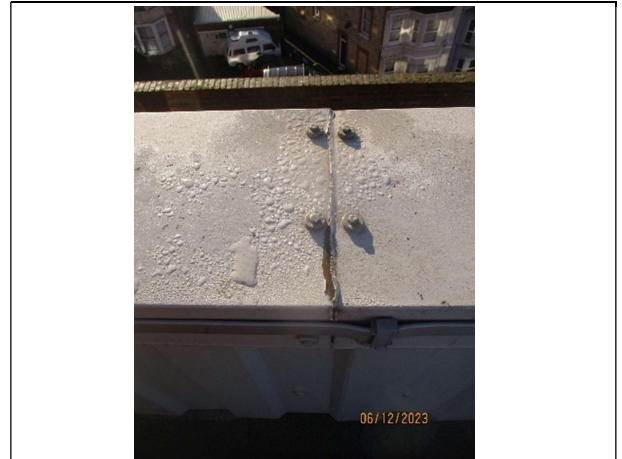
There was evidence of ponding in several locations on the main roof, and a number of localised patch repairs including sections of felt overlay have been carried out. In some areas the flat roof felt spongy underfoot. The roof is considered to be reaching the end of its serviceable life and allowance will need to be made to overlay the existing roof with a new bitumen felt system. It is recommended that some core samples be taken of the main flat roof in order to confirm the condition of the underlying substrate, and to establish if there is any existing insulation within the roof deck.

It should be noted that any proposal to upgrade the roof will require upgrades to the thermal performance. It has been assumed that there will be little to no insulation within the existing roof, and therefore allowance will be made within any costs for upgrades to the roof to include for additional insulation.

There are several flues penetrating the roof. These were generally considered to be in acceptable condition, and appear to be in current use. Any flues that can be confirmed as redundant should be removed as and when the roof covering is next replaced, thereby reducing the number of penetrations through the felt roof covering.

The metal cladding to the parapet was generally considered to be in fair condition, but some localised repair or replacement is likely to be necessary when the main roof is recovered. In particular, some of the fixings were noted to be corroded and will require replacement to prevent any future failure or water ingress.





4.2 Rainwater Goods

The rainwater goods to the main flat roof consist of two central valleys which discharge into several gullies, that connect to internal rainwater downpipes. We were advised that there are potentially ongoing water leaks that could be linked to the internal downpipes. No inspection of the internal rainwater pipes was possible due to them being boxed in within the flats below. There are also some downpipes which extend down to the lower ground floor level within the inset balcony spaces below the roof terraces. Only a single balcony was inspected and it is recommended that investigations be carried out to all downpipes, gullies etc to confirm if there are any significant issues or defects. An allowance has been included for some general maintenance and repairs in the attached cost plan.



4.3 Roof Terraces and Balconies

To the fourth and fifth floor, there are a number of flats which have external terrace areas which are formed of a concrete deck with a covering of asphalt. We were provided with a copy of a report carried out by Danosa following an inspection in June 2023, in which a core sample was taken. The report concludes that the asphalt surfacing is approximately 40+ years old and is at the end of its serviceable life and is need of renewal. Our inspection confirmed that there is evidence of splits to a number of areas of the asphalt and we saw localised patch repairs have been carried out to a number of locations.

In addition, we have been advised of a number of internal leaks to the flats below the terrace areas. These leaks could be as a result of the asphalt condition but also are likely to be linked to poor detailing at the upstand around the perimeter of the terraces. Some repairs have been carried out including replacement lead flashing and cavity tray installation, but there is evidence internally of ongoing issues with water ingress.

As with the main roof, any proposal to upgrade the terrace roof deck will require upgrade to the thermal performance of the roof and will require additional insulation to be installed. This will also require



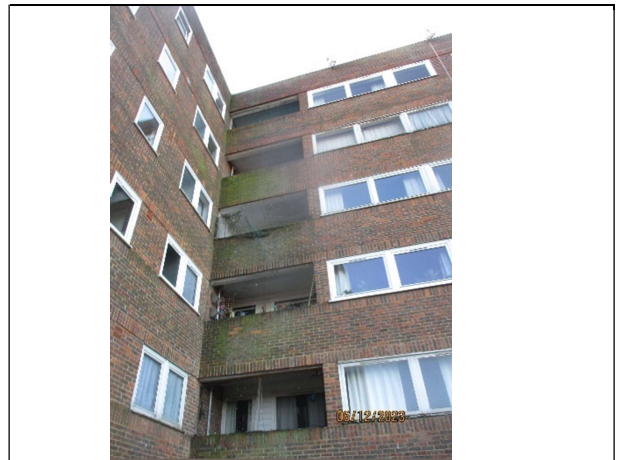
alterations to the upstand details to be carried out, and the opportunity should be taken to carry out further investigations into the cavity trays and flashing installation to ensure that any remedial works to prevent further water ingress from occurring.

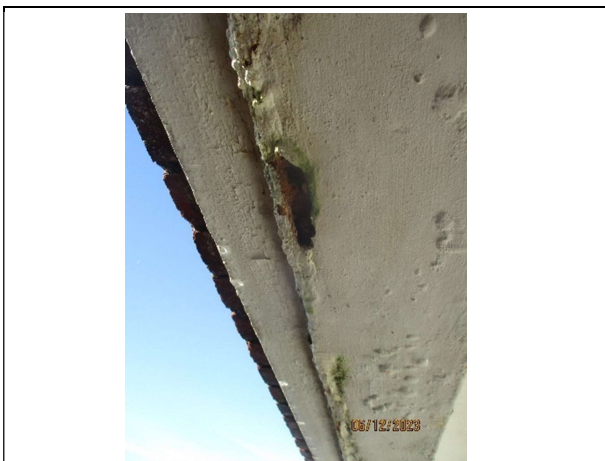
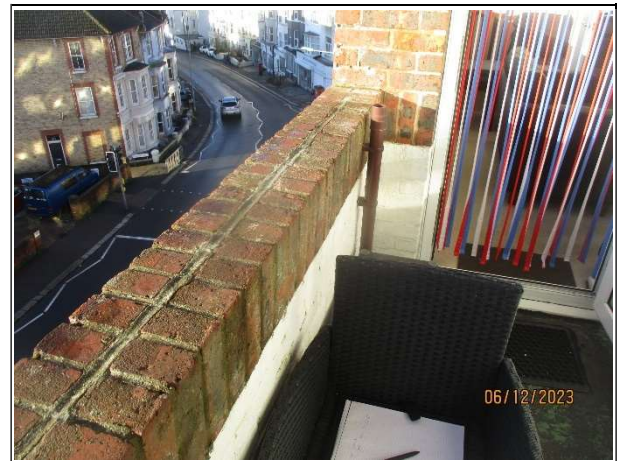
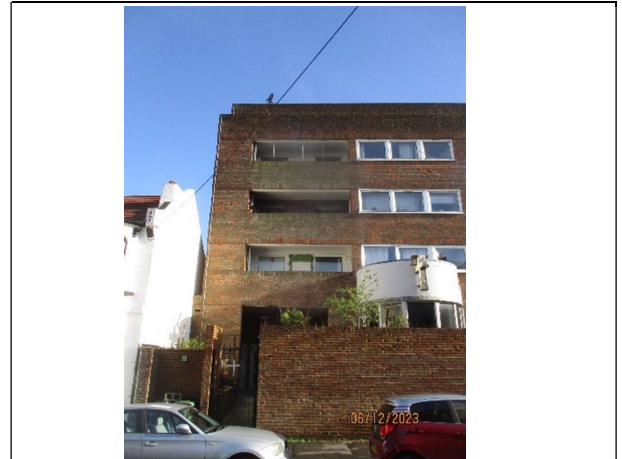
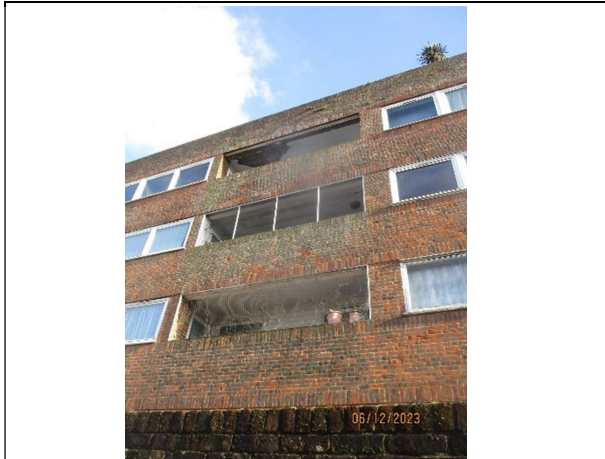
It is also likely that due to the increase in the depth of the roof covering that the parapet walls will require adaptation to ensure that they provide adequate protection from falling for the occupants of those flats with access to the terrace areas.

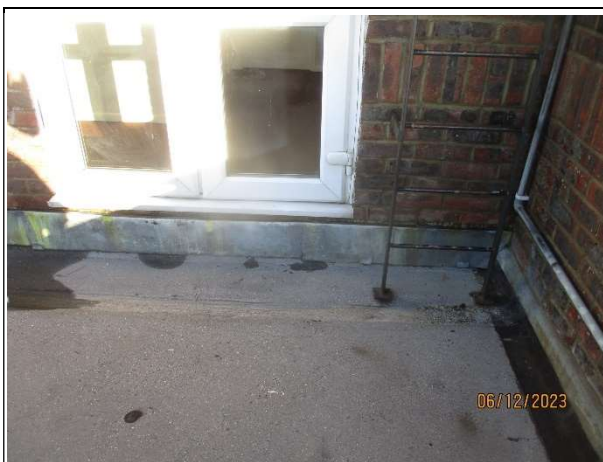
The majority of flats are all served with inset balconies to the front and rear of the block. The balconies are of concrete construction formed as part of each floor, and are enclosed with masonry walls which have received a painted cladding finish. The balustrades are brick construction with a brick coping detail.

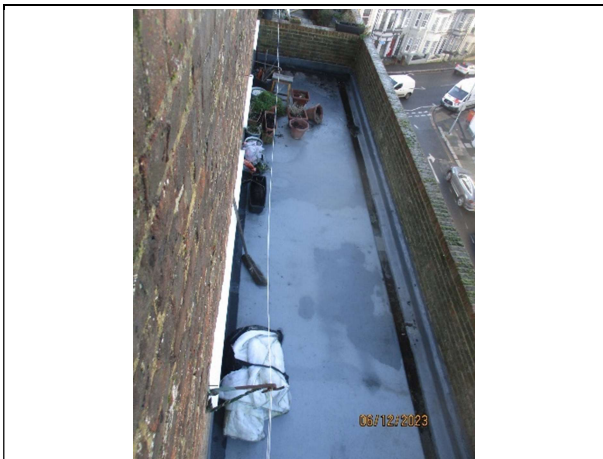
There was evidence of some corrosion to the reinforcement within the concrete balcony structure that was inspected as part of this survey. From ground level via binoculars there is further evidence of defects to a number of balconies around the block. There is also evidence of water ingress and associated damage to a several balconies. Allowance for some repairs will be included in the attached cost plan, but initially it will be necessary to carry out further inspections to individual balconies including concrete hammer tests etc to determine the extent of remedial works required.

The cladding to the enclosed balconies will require redecoration as part of any future remedial works to the external elevations.











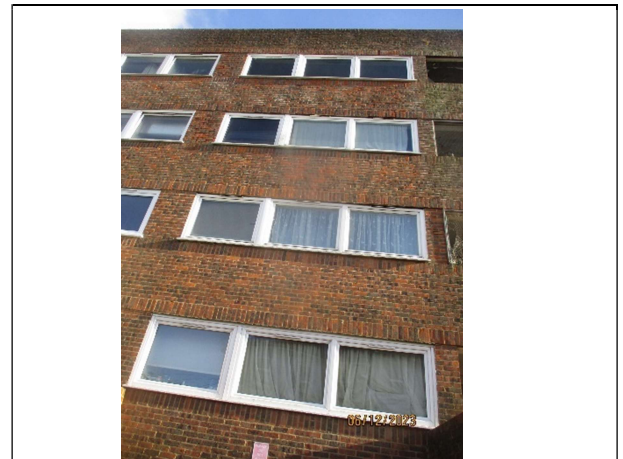
4.4 Elevations

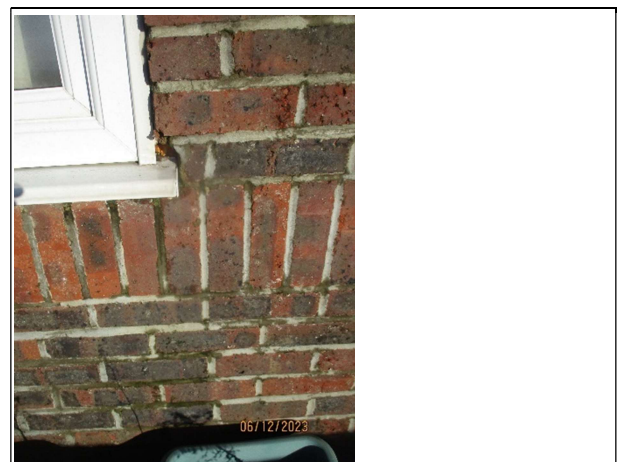
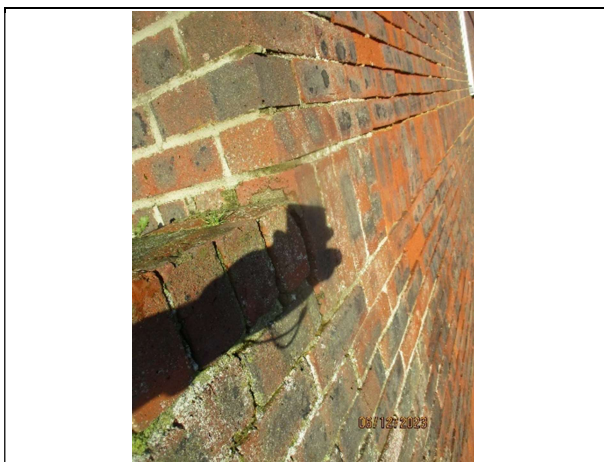
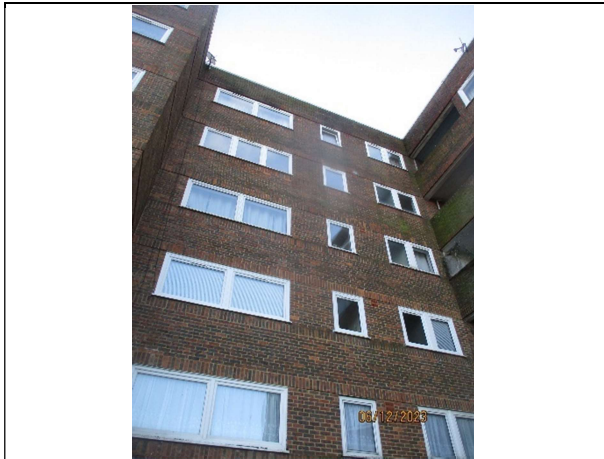
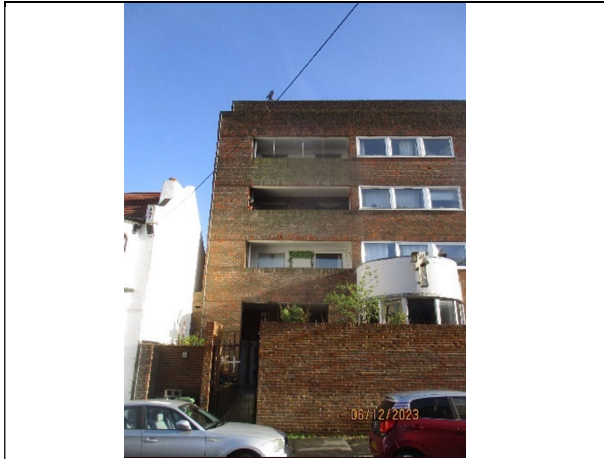
The external elevations are formed of cavity construction with facing brickwork. Generally, the pointing to the brickwork is considered to be in poor condition with some significant areas where the pointing has eroded completely along with patches of brickwork that has suffered from substantial spalling.

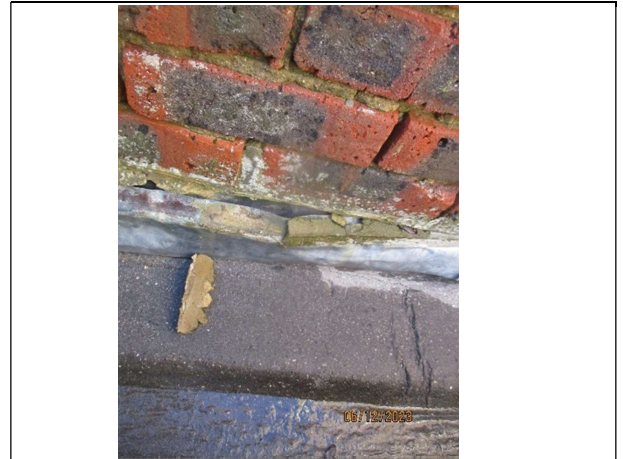
Further to the visible defects to the brickwork there are reported ongoing issues related to water ingress throughout the block. This is considered to be as a result of a combination of defects including the condition of the pointing and brickwork, but also linked to issues regarding the cavity trays over window openings. Repairs will be required, but it is recommended that once scaffolding is in place that further investigations be carried out to the cavity brickwork in order to establish the cause of the water ingress and to allow suitable remedial works to be carried out.

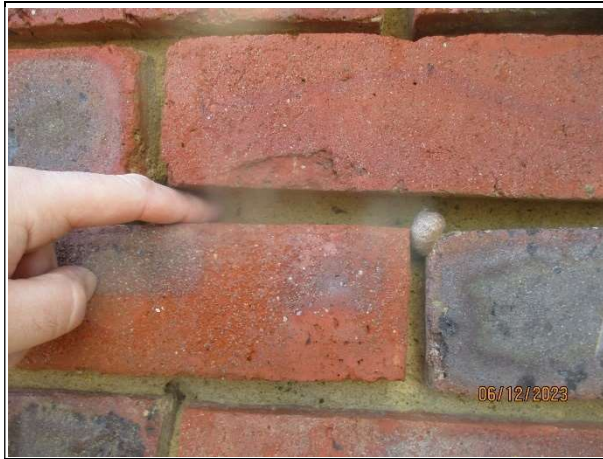


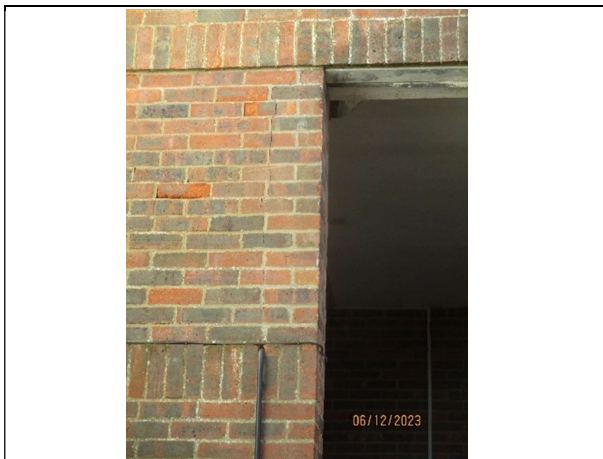
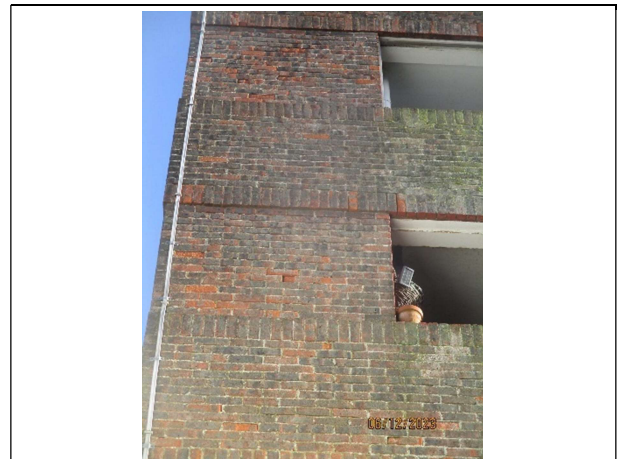
As part of the recommended remedial works described above, it is also thought that due to the age of the building, that there are potentially issues with the cavity wall ties. An allowance will be included in the attached cost plan for replacement wall ties to all elevations. However, the full extent of this element of work will only be confirmed once close up investigations can be carried out from a scaffold. It is possible that the amount allowed within the cost plan may not need to be fully expended if it is found that some (or all) of the cavity wall ties are in an acceptable condition.











4.5 External Joinery

The majority of the external windows have been replaced with PVCu framed double glazed units. There are no apparent defects with the communal double-glazed windows and therefore no major works are proposed to the windows. It is recommended that prior to any external works where scaffolding is required, that any misted units be identified by residents in order they can be addressed when scaffolding is erected. In addition, any repairs to the perimeter of the window openings has been allowed for in the cost plan.

The demised windows to flats are not the Freeholder's responsibility to keep clean or maintain, but in the lease provided to us, it is confirmed that the Freeholder is required to 'paint all wood and ironwork of the exterior of the building and all other parts thereof (including the outside faces of the doors windows and other woodwork within the demised premises)'. The majority of windows have been replaced with PVCu units are therefore do not require redecoration. However, there are still some timber framed windows remaining, which all appear to be in poor condition, with evidence of timber rot to a number of units.



Redecoration of the timber units will be necessary, but some significant timber repair is anticipated and this the responsibility of individual leaseholders. Due to the condition of the timber windows observed during our inspection, it is recommended that when scaffold is in place for external work such as repointing etc, that those leaseholders who still have timber windows take the opportunity to replace them with modern PVCu framed double glazing, thereby saving on the cost of high-level access etc.







4.6 External Decorations

External decorations are only required to:

- Timber louveres to the vents to the underground parking area
- External elevations of the recessed balcony areas
- Any remaining timber windows

The external surfaces to the building are predominantly facing brick work that does not require decoration. The only elements that require decoration are the timber elements such as the timber louveres, the recessed balcony areas and a number of timber windows that have not been replaced with PVCu double glazed units. All of these elements will require periodic redecoration, and based upon our observations are in urgent need of redecoration in the next 12 months. Due to the requirement for high level access, it is recommended that when scaffold is in place for external works that redecoration works are carried out at the same time.

Refer to comments in section 4.5 regarding a number of timber framed windows that still remain. It is the individual leaseholder's responsibility for maintenance and/or replacement of the windows, but the freeholder has a duty to decorate any external timber elements. Any timber windows that are to be retained will require remedial works to be carried out, and paid for, by the leaseholder, prior to any future redecoration works.

4.7 External Plumbing

There is no significant external plumbing to the building. As described earlier, much of the rainwater is directed to internal downpipes that are concealed within boxings within the flats. In addition, all foul water drainage pipework is concealed within boxings within the flats and therefore the above ground drainage pipework cannot be commented on.

Some of the downpipes penetrate through the recessed balconies, and extend down to the undercroft parking area. We were only provided with limited access to a single balcony, but have been advised that there are ongoing issues with regard to water leaks that are likely linked to the boxed in rainwater downpipes.

Further investigation may be required to determine the location of any leaks, and a provisional allowance has been included in the cost plan for repair to be carried out.



4.8 External Areas

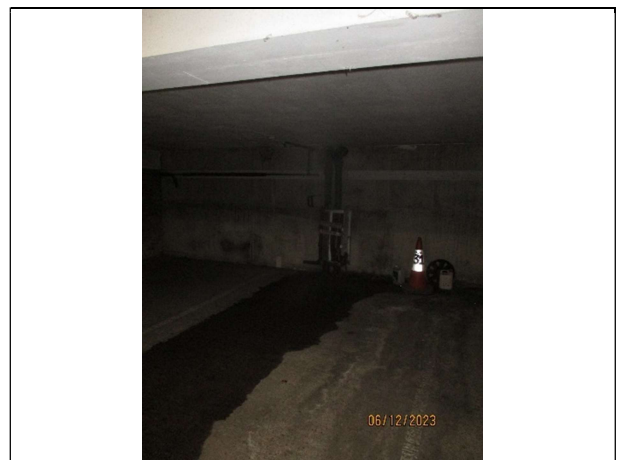
4.8.1 External Areas and Car Park

To the front and rear of the building there are terrace areas which are covered in asphalt with several brick built vents that serve the undecroft parking area at lower ground level. The asphalt surface is cracked in several areas and there is evidence of ponding in a number of locations. There is also evidence of water ingress to the car park area below. As a minimum localised remedial works will be required in the short term, but it is anticipated that longer term more significant repairs including replacement or recovering of the asphalt surface will be necessary. It is recommended that some core samples are taken of the asphalt in order to determine what condition it is in, and what the anticipated remaining lifespan is.

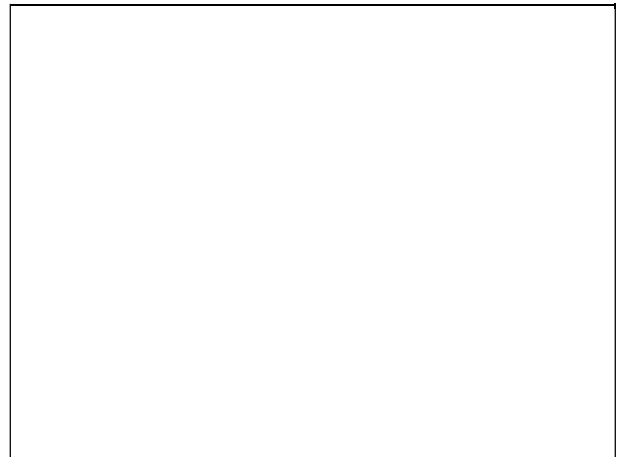
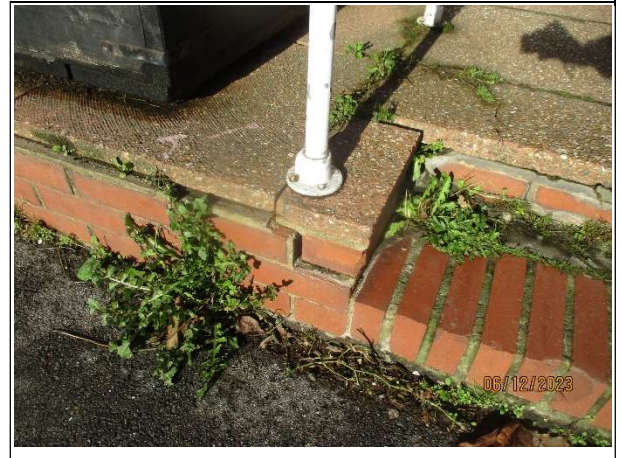
Water damage to the concrete ceiling within the car park area is an ongoing issue, and remedial works will be necessary. Further investigation is recommended to establish the extent and severity of any defects. A provisional sum has been included in the cost plan until a more definitive scope of works can be confirmed.



At the front entrance to the block, there are steps with a covering of concrete paving slabs. Remedial works including removal of weed growth, and replacement of the asphalt upstand will be required. There is also some damage to the metal handrail where it is fixed into the paving slabs that will need attention.



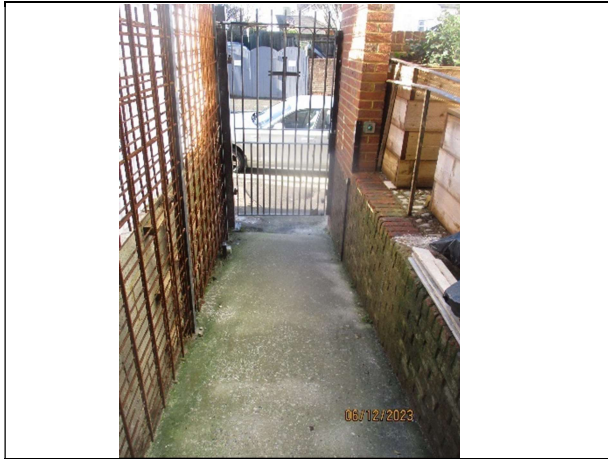


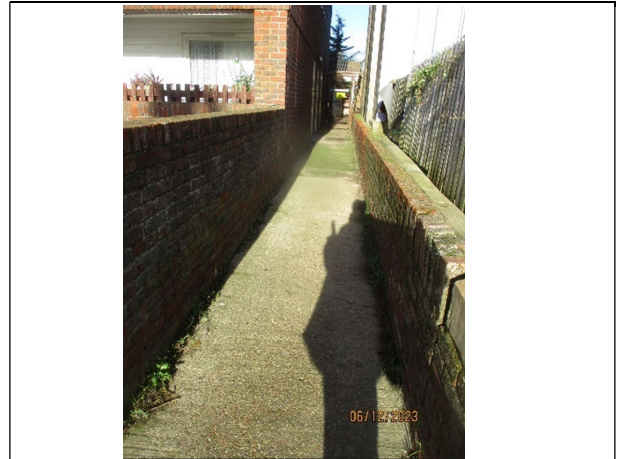


4.8.2 Boundary Features

The front boundary is demarked by a brick wall which encloses the asphalt covered terrace area. This brick wall extends around the corner onto the west facing elevation. The brick wall becomes a retaining structure at the access road into the undercroft parking area. In general the boundary wall is in fair condition, but some localised repairs to frost damaged brickwork will be necessary.

There is an area of brickwork on the ramp to the car park area where a number of bricks have been removed and not replaced. These bricks should be replaced at an early opportunity.



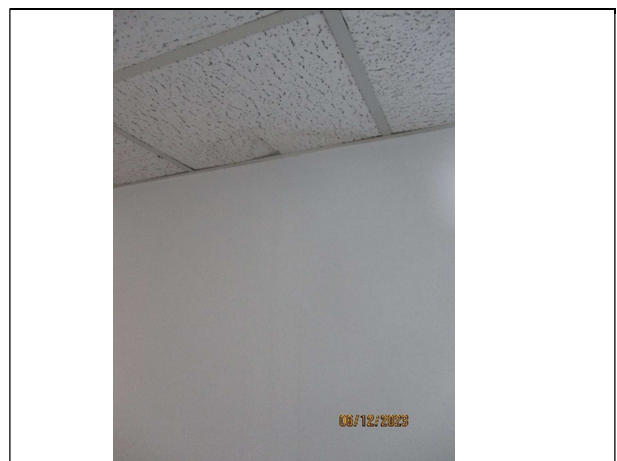


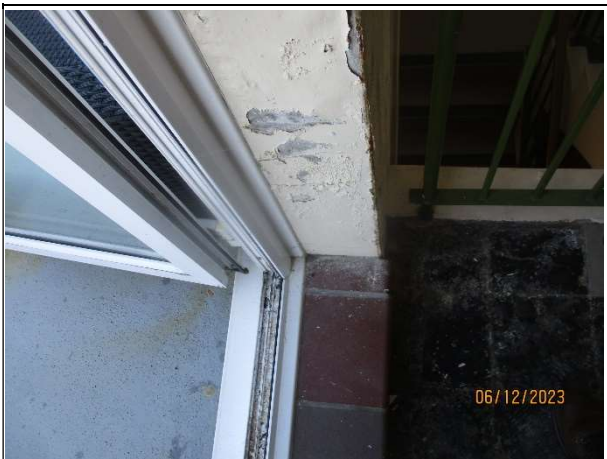
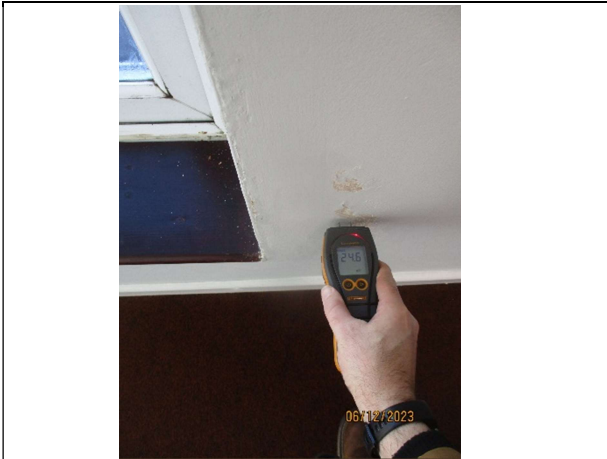
4.9 Internal Communal areas

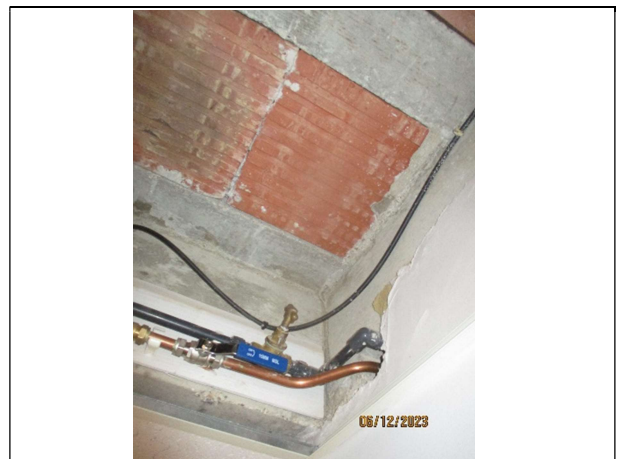
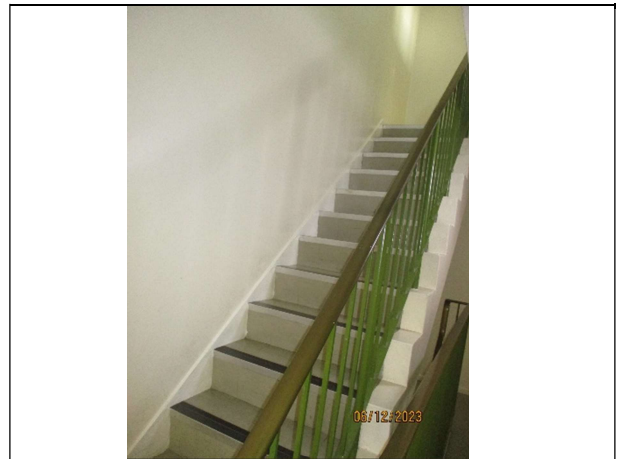
The internal communal areas are formed of plastered walls, with painted softwood timber skirting boards and architraves etc. All of the communal areas have suspended ceiling which are covering a hollow pot floor construction. The concrete stairs have metal painted balustrades of steel with a plastic covering to the handrail. The majority of communal corridors have received a carpet finish, whereas the landing areas and stairwell floors have received a tile finish. These have the appearance of tiles that would typically contain asbestos and this has been confirmed in the asbestos report. The majority of the communal areas have no significant defects. Some of the asbestos tiling to the stairwells and landing are damaged, and removal and replacement of these tiles is recommended, but as the tiles contain asbestos, this should only be carried out by a licensed contractor. To some of the landings, all of the floor tiles have been removed, but due to ongoing water ingress, no attempt to replace the tiles has been carried out. Floor coverings such as carpets will require replacement approximately every 10 years. Some of the carpets will require replacement in the short term where damage has been caused due to other factors such as water ingress caused as a result of external defects. Any external defects should be rectified before any carpets or floor tiles are replaced. The communal areas should be re-surveyed in 5 years' time to assess their condition.

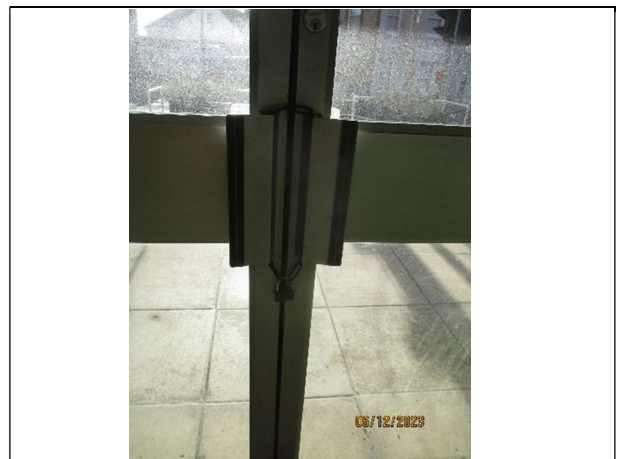
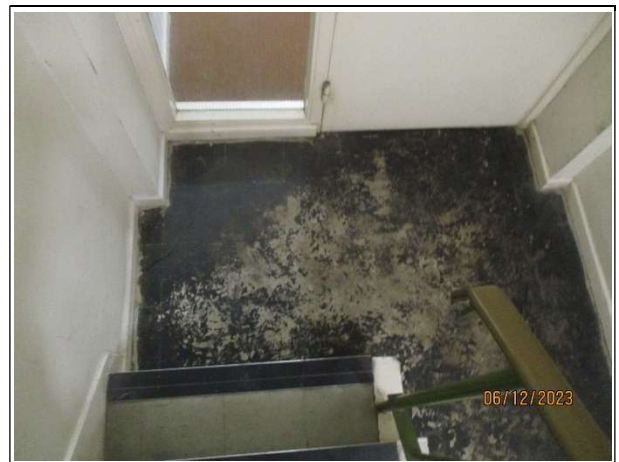
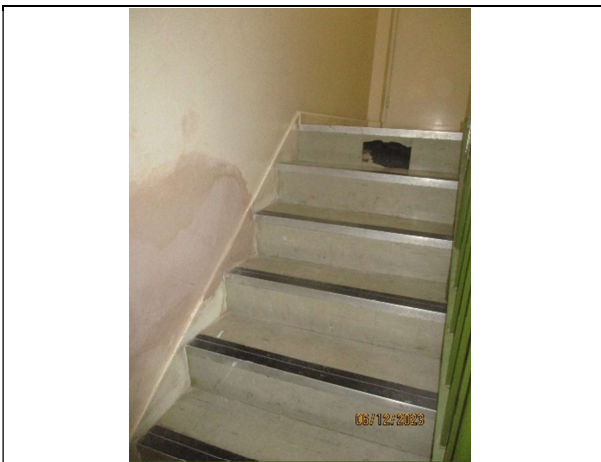
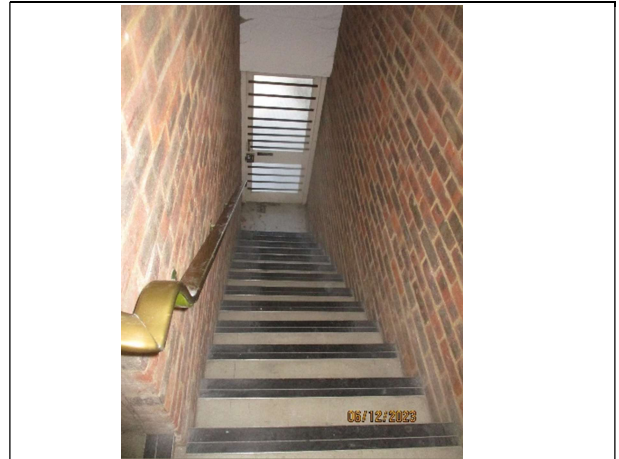
Painted decorations throughout the staircase and communal areas appear to be generally in fair condition, but with some areas having been damaged due to external water ingress. Due to significant and ongoing water ingress, some sections of walls to communal corridors will require remedial works before any redecoration should be carried out. As with the carpets, any external defects should be rectified prior to carrying out any internal making good and redecoration. An allowance for redecoration of the communal areas has been included in year 5 of the maintenance plan.

The ceilings to the communal areas are generally suspended ceiling tiles. For the most part the ceiling tiles are in fair condition, but some water damage has been caused in a number of locations. Similar to the carpets and walls detailed above, any ongoing defects should be rectified prior to any repair works.











4.10 Building Services

Comments and costs on the building services are only those identified by separate specialist reports provided to us – we have not undertaken any of these specialist inspections during our survey. Generally, costs included in the plan are those provided by specialist engineers or contractors.

The above and below ground drainage can commonly block due to fat deposits. Regular check cleaning is therefore recommended at 6 or 12-monthly intervals, as found necessary.

The communal electrical installation was inspected as recently as October 2023, and based upon the certificate issued at that time, there are not any further recommended works, and so there is no allowance for electrical upgrades included in the maintenance plan.

We are aware that there is a service agreement in place for the lift, but we have not been provided with any information on when the last inspection was carried out or if any remedial works are required. An assumption has been made that any essential works have been carried out as and when they are reported, and that regular inspection and servicing of the lifts is carried out as part of an ongoing maintenance plan. An annual provisional sum for general repairs has been included in the attached maintenance plan.



5.0 STATUTORY PROVISIONS

The compliance with statutory provisions is not considered by this inspection and report other than those notes below. We assume that fire precaution matters, health and safety matters, and asbestos matters, have been dealt with as part of ongoing management of the building.

5.1 Fire Precautions Matters

We have been provided with a copy of the fire risk assessment that undertaken ETS H&S Assessments in September 2023. The report highlights a number of areas where action is required:

- Control measures required to restrict access to the building and car park due to risk of arson.
- Communication of the fire action plan needs to be issued to all residents.
- Various issues identified in regard to compartmentation particularly linked to service ducts, flues, risers etc.
- Various comments in regard to facilities within the block for the fire service.
- Issues relating to fire doors, compartmentation and appropriate signage have been identified. A separate fire door survey has been carried out.

At the time of writing this report, it is understood that tenders are being sought for the compartmentation and fire door works, with a view to have the works completed in 2024. At completion of this work, the FRA will need to be updated to confirm if all requirements have been met.

5.2 Asbestos Management

An asbestos survey was undertaken by Hastings Environmental Services Ltd dated October 2013. The report highlighted areas of suspected asbestos within various service cupboards including the ducting and insulation boards as well as cowls and flues at roof level. Floor tiles to the communal areas are also confirmed to contain asbestos. Generally, all of the areas identified are in fair good condition and do not require any action. A re-inspection and updated report was carried out and issued by the same company in December 2023. This update confirmed that any damaged floor tiles should be removed as required, and that any other areas where asbestos is identified should be managed and monitored.

We are not aware if the material has been subsequently removed, but the information would be contained within any Health and Safety information relating to the block. The report advises that if any areas where asbestos has been identified are likely to be disturbed due to refurbishment works then they should be removed.



6.0 FURTHER INVESTIGATIONS

Further investigations are proposed to establish the need and extend of maintenance and repairs works, and include the following:

1. Clarify ownership of the boundaries in order to establish maintenance liability for repairs.
2. Carry out a CCTV inspection of the drainage to identify any existing defects.
3. Following the fire door and compartmentation upgrading works are complete, carry out a further FRA to confirm that compliance has been achieved.
4. Carry out further investigation to the external walls to identify defects to the cavity trays and cavity wall ties. This can only be done once scaffolding is in place to allow proper investigation.



7.0 MAINTENANCE PLAN

7.1 The Plan

The capital expenditure maintenance plan is attached as Appendix A to this report.

The plan has been developed based from an internal and external visual inspection of the accessible parts of the property and has been prepared to be a management document to assist in planning for prudent management of the property and to enable collection of funds.

In preparing this plan we have considered the current condition of the building elements together with their anticipated lifespan. The maintenance intervals detailed within the plan have been shown as it is not considered realistic to carry out all of the urgent works in a single financial year as the cost would be significant. As a result, the cost plan has allowed intervals between works to the various elevations and we understand the need to adjust these in order to align with monies available. As such, the allocation of projects to each year can be amended if required.

It is recommended that the plan is used as a working document and is revisited and updated at regular intervals to ensure that it remains a useful and usable document, at maximum 5-yearly intervals to take account of completed work, new legislation, and any changing rate of deterioration of the building elements and fabric.

7.2 Access to Carry Out Works

Wherever possible, the works shown in the capital expenditure maintenance plan are generally grouped to be carried out to maximise the shared use of access equipment.

Where access equipment is essentially required to safely carry out works, this could be full or tower scaffolding, Mobile Elevating Work Platform (MEWP), or using abseiling techniques. The choice of access equipment will depend upon health and safety issues, cost of the equipment, suitability for the size and scale of the works, and the efficiency of carrying out the works.

Allowances for suitable access equipment are made within the plan, but commonly tendering contractors would be invited to offer tenders to carry out works using the most cost-effective choice of access equipment, and that which satisfies the contractor's assessment of the health and safety risks associated with the work. The cost of access equipment included in the plan should therefore be considered a reasonable allowance only, subject to detailed consideration on a project-by-project basis.

7.3 Estimated Budget Costs

The estimated budget costs are based upon published pricing data and our experience of similar works. We must emphasise that we have not obtained building contractors' quotations. Accordingly, the costs should be used for guidance purposes only.

The recommended maintenance works have been allowed to exactly match the existing materials and that no widespread or significant defects are uncovered whilst carrying out works. Improvement and upgrading have therefore not been allowed, except to comply with statutory or Building Regulation requirements.



The following apply with regard to our cost estimates: -

1. Figures are approximate budgets at base date prices, and do not include VAT at current rate of 20%.
2. Inflation allowance has been included at 5% per annum.
3. The costs in future years are based on works at current prices and no allowance has been made for the exceptional effects of materials and labour price increases, or a change in the rate of VAT.
4. We have assumed that the works will be competitively tendered on a drawings and specification basis on a standard contract.
5. It has been assumed works can be undertaken during normal working hours.
6. No allowance has been made for the survey or removal of any contaminants, including asbestos.
7. Budgets are based on the building in its current form and method of use.
8. It is prudent to allow a contingency sum for unforeseen works or eventualities. 10% has been allowed.
9. Professional fees at a nominal 12% of the value of the work, has been allowed for the Specifier, Contract Administrator, and Local Authority fees and charges, where applicable. Significant other fees if found necessary due to unforeseen works, such as structural and building services engineering, are excluded



APPENDIX A

CAPITAL EXPENDITURE MAINTENANCE PLAN